

- NOTES:
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  4. ANY DETAIL CRITICAL TO DESIGN MUST BE LOCATED BY A FIELD SURVEY.
  5. ADOPT SPOT LEVELS IN PREFERENCE TO CONTOURS.
  6. ALL DETAIL AND FEATURES SHOWN HEREON HAVE BEEN PLOTTED IN RELATION TO THE OCCUPATIONS (FENCES AND/OR WALLS ETC). THESE OCCUPATIONS HAVE NOT YET BEEN ACCURATELY LOCATED IN RELATION TO THE BOUNDARIES.
  7. ALL TREE DIMENSIONS ARE APPROXIMATE.

DEMOLITION WORK  
HOURS:  
MONDAY - FRIDAY  
7AM - 5PM

ESTIMATE TIME FOR  
DEMOLITION  
COMPLETION 1 WEEK

#### NOTES

1. ALL RUN OFF AND SEDIMENT CONTROL STRUCTURES WILL BE MAINTAINED IN A FUNCTIONAL CONDITION
2. REVEGETATION WORKSHAY MULCHING MUST USE STRAW THAT IS GUARANTEED WEED FREE AND A "DRYLAND" SEED MIXTURE IN ALL APPLICATIONS
3. AREAS NOT USED FOR BUILDING SHOULD BE RETAINED WITH VEGETATION
4. REVEGETATION ON RETAIN CUT AND FILLS AS SOON AS POSSIBLE DURING CONSTRUCTION

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BEFORE YOU DIG  
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Client :  
**Mr & Mrs Phillip**

Project Title :  
**Dual Occupancy & Torrens Title**

Subdivision at:  
**L31, 14 Davies Road, Padstow dp660646**

**Not FOR CONSTRUCTION**

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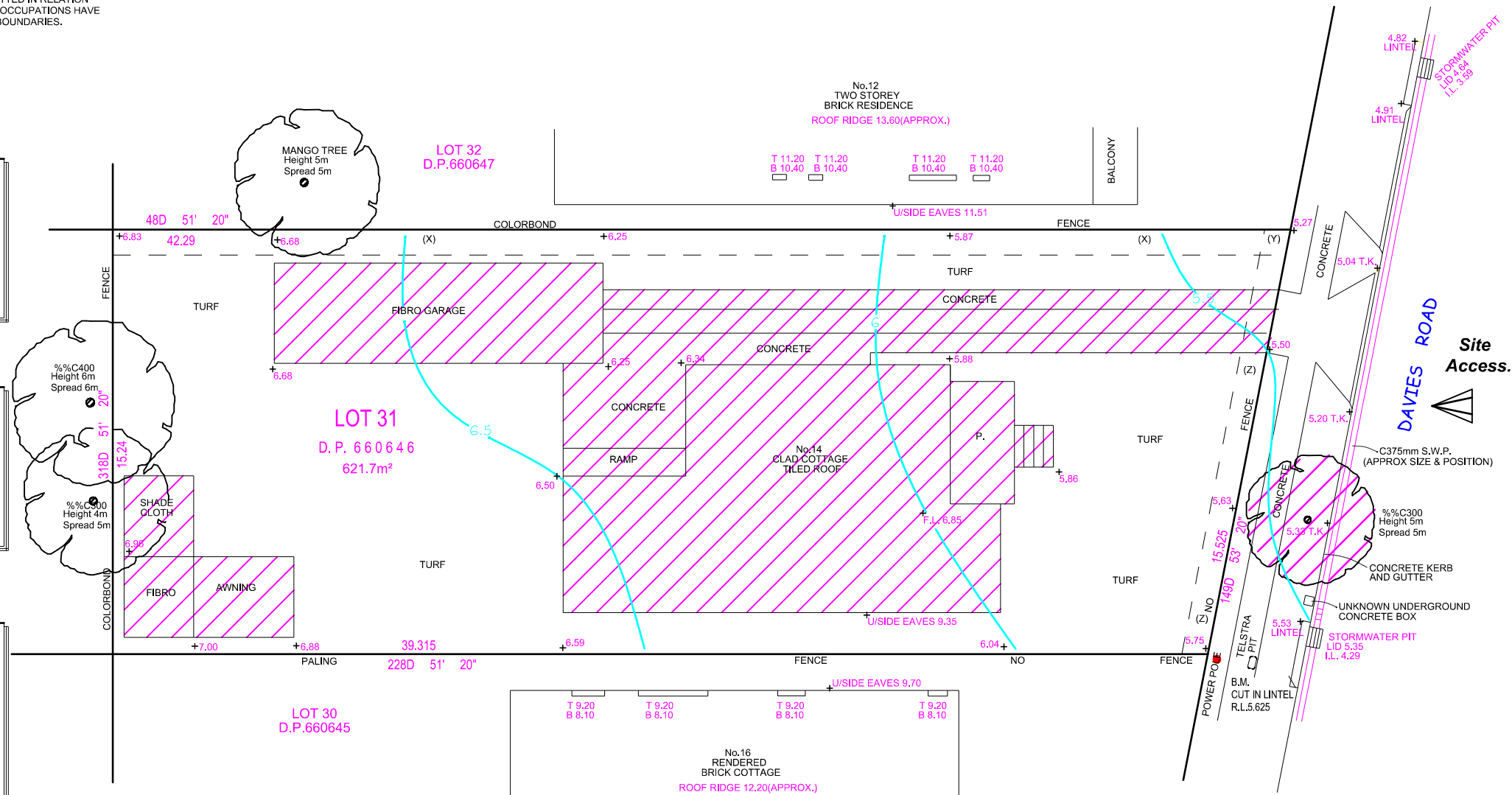
28/06/22  
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DA SUBMISSION  
Revision

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**DEMOLITION & EXISTING SITE PLAN**

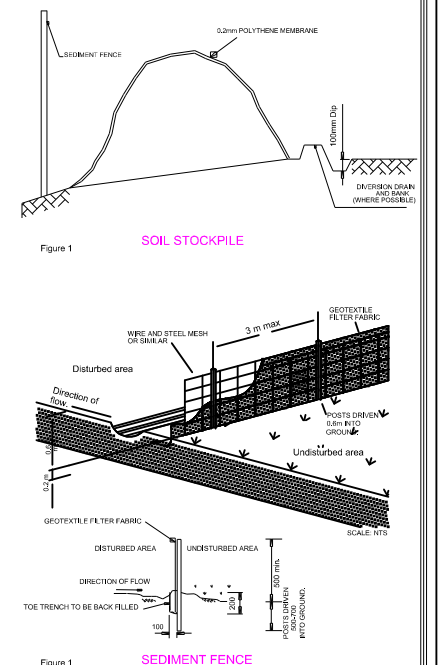
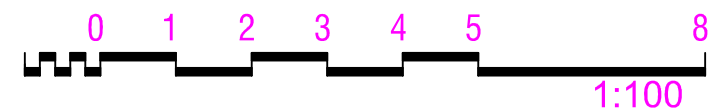
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Date: <b>05/05/22</b>	Issue: <b>DA-A</b>	



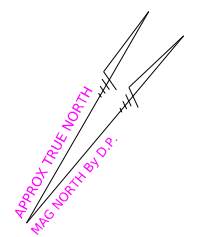
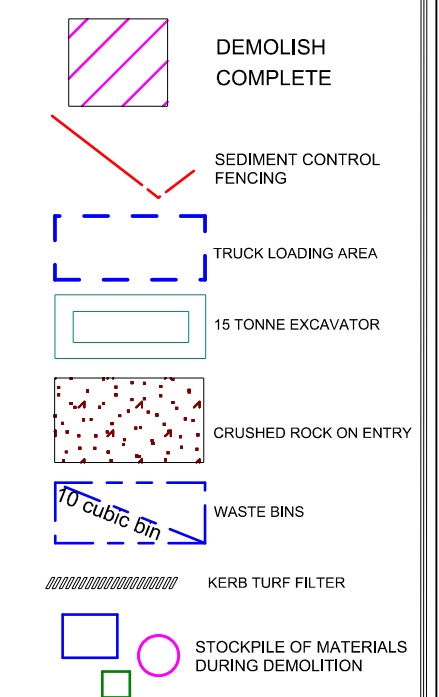
(Y) (Z) EASEMENT FOR DRAINAGE 0.915 WIDE (G442801)  
(X) (Y) EASEMENT FOR DRAINAGE 0.915 WIDE (G442805)

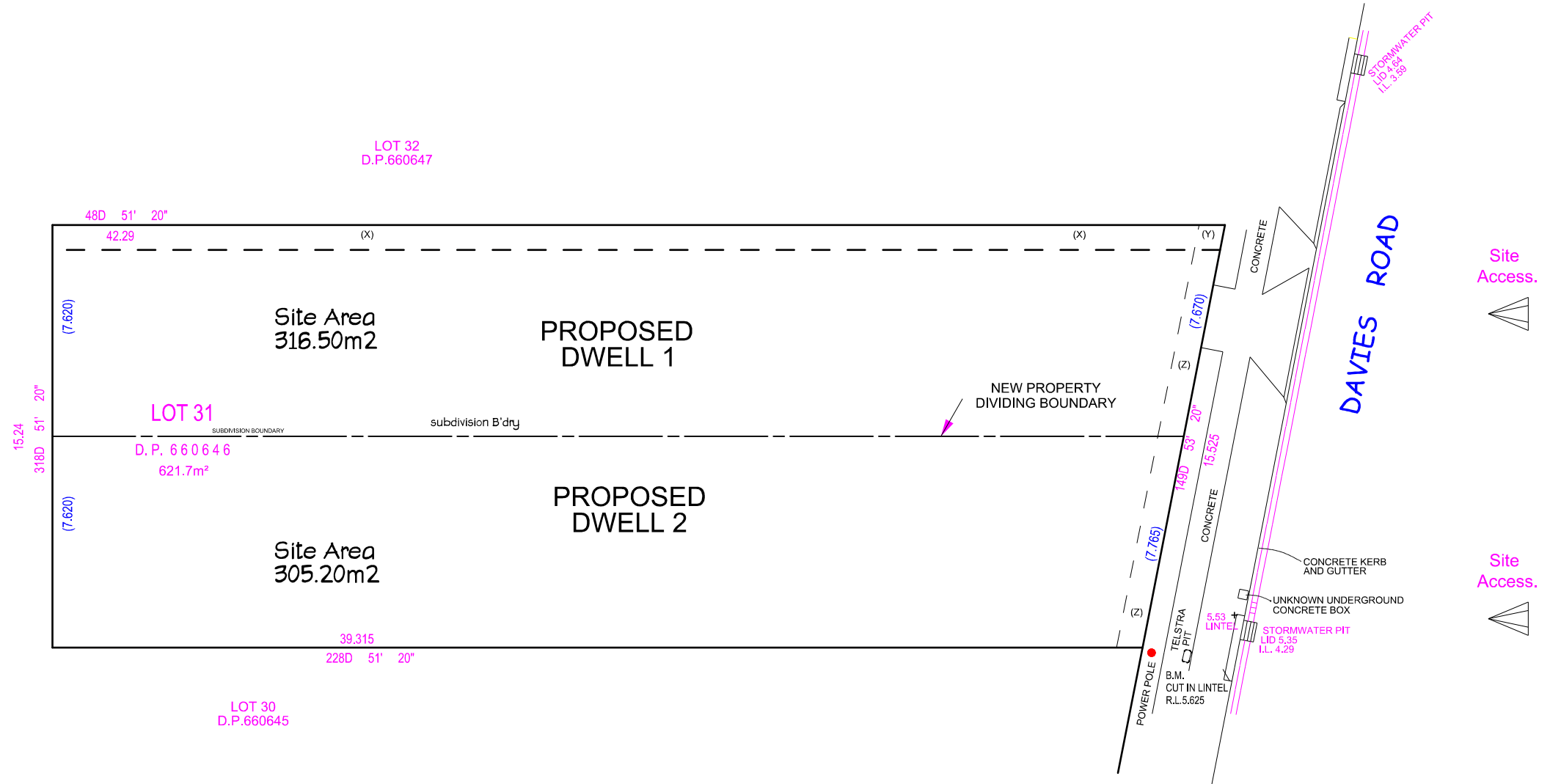
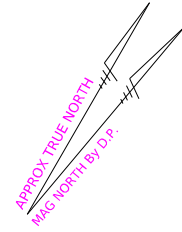
CONTOUR INTERVAL - 0.5 METRES

— DENOTES WINDOW  
T DENOTES TOP OF WINDOW  
B DENOTES BOTTOM OF WINDOW



SEDIMENT CONTROL NOTES:  
1-ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE.  
2-STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.  
3-ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR  
AND ALL TRAPPED SEDIMENT TO STRUCTURAL DAMAGE BE RE MOVED TO A NOMINATED STOCKPILE SITE





(Y) (Z) EASEMENT FOR DRAINAGE 0.915 WIDE (G442801)  
(X) (Y) EASEMENT FOR DRAINAGE 0.915 WIDE (G442805)

LOT 31  
Total Site Area = 621.70m<sup>2</sup>  
Torrens Subdivision Plan



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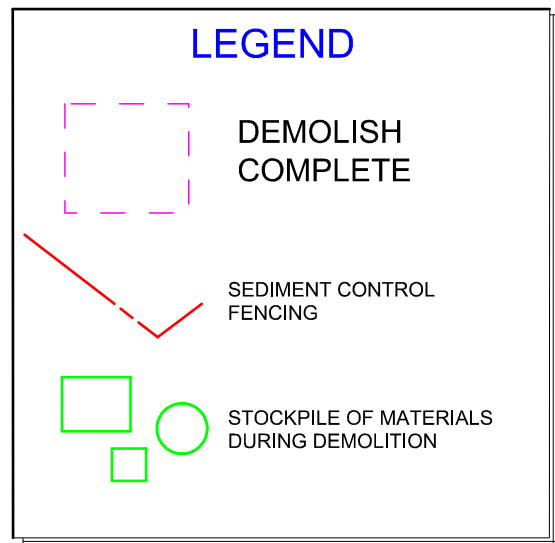
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TORRENS SUBDIVISION

Scale: <b>1:100</b>	Drawn By: <b>dbb</b>	Drawing No. <b>01a</b>
Date: <b>05/05/22</b>	Issue: <b>DA-A</b>	



#### CALCULATIONS

Calculated Total Site Area : **621.70m<sup>2</sup>**

#### FLOOR SPACE

FSR allowed : **310.85m<sup>2</sup> / 50%**

Dwelling 1 / Site **316.50m<sup>2</sup>**

GF : **85.300m<sup>2</sup>**

FF : **72.125m<sup>2</sup>**

Total FSR achieved:**157.425m<sup>2</sup>**

Dwelling 2 / Site **305.20m<sup>2</sup>**

GF : **80.47m<sup>2</sup>**

FF : **72.125m<sup>2</sup>**

Total FSR achieved:**152.595m<sup>2</sup>**

(COMPLIES NUMERICALLY)

#### PRIVATE OPEN SPACE

Dwelling 1 : **92.70m<sup>2</sup>**

Dwelling 2 : **87.20m<sup>2</sup>**

#### CARPARKING

Dwelling 1 **2 SPACES**

Dwelling 2 **2 SPACES**

#### LANDSCAPING **36.62%**

Dwelling 1 : **117.70m<sup>2</sup>**

Dwelling 2 : **110.00m<sup>2</sup>**

#### R/Water Tank

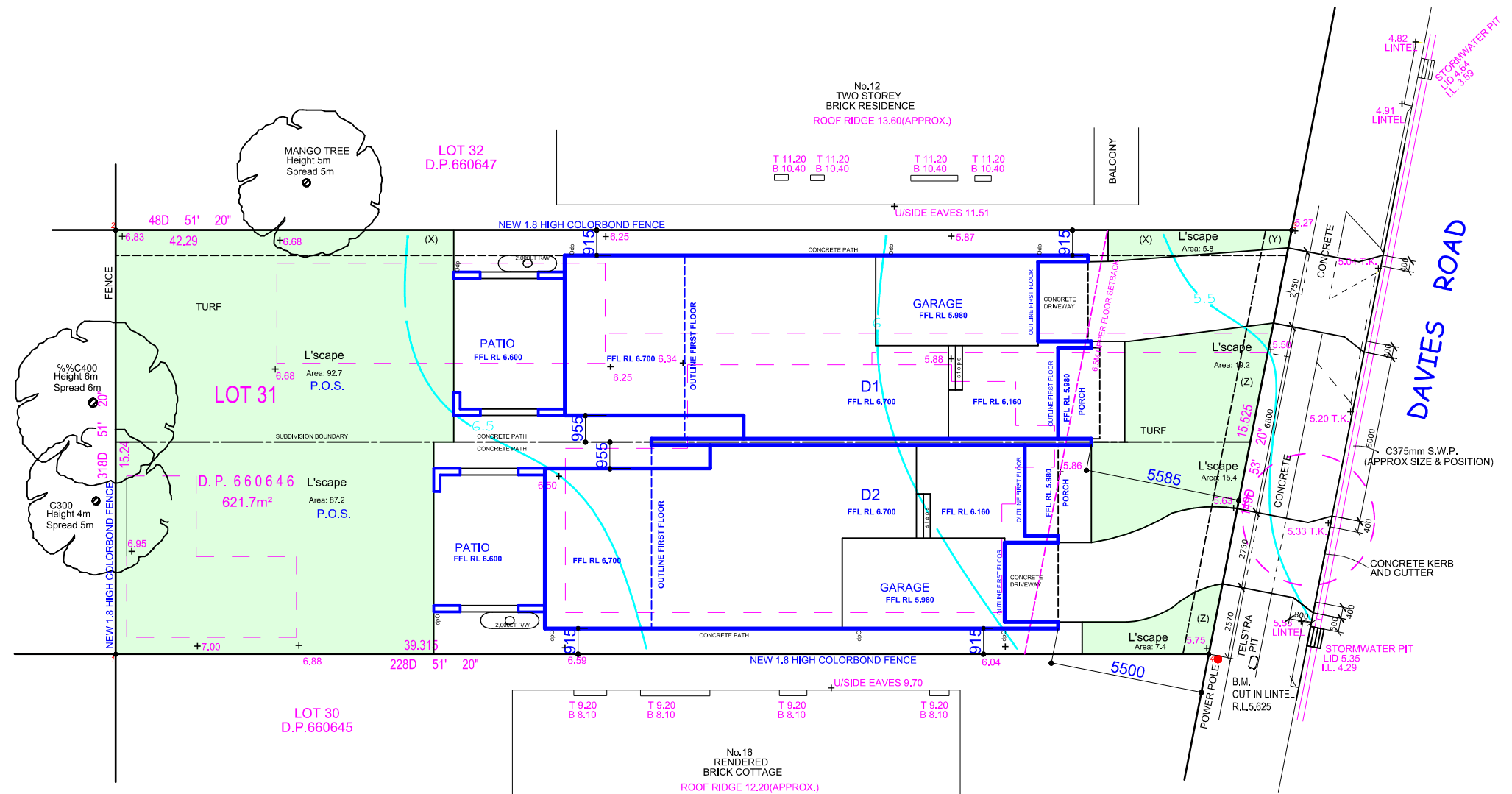
Dwelling 1 : **2000L**

Dwelling 2 : **2000L**

#### Roof Areas

Dwelling 1 : **152.20m<sup>2</sup>**

Dwelling 2 : **147.10m<sup>2</sup>**



(Y) (Z) EASEMENT FOR DRAINAGE 0.915 WIDE (G442801)

(X) (Y) EASEMENT FOR DRAINAGE 0.915 WIDE (G442805)

CONTOUR INTERVAL - 0.5 METRES

— DENOTES WINDOW

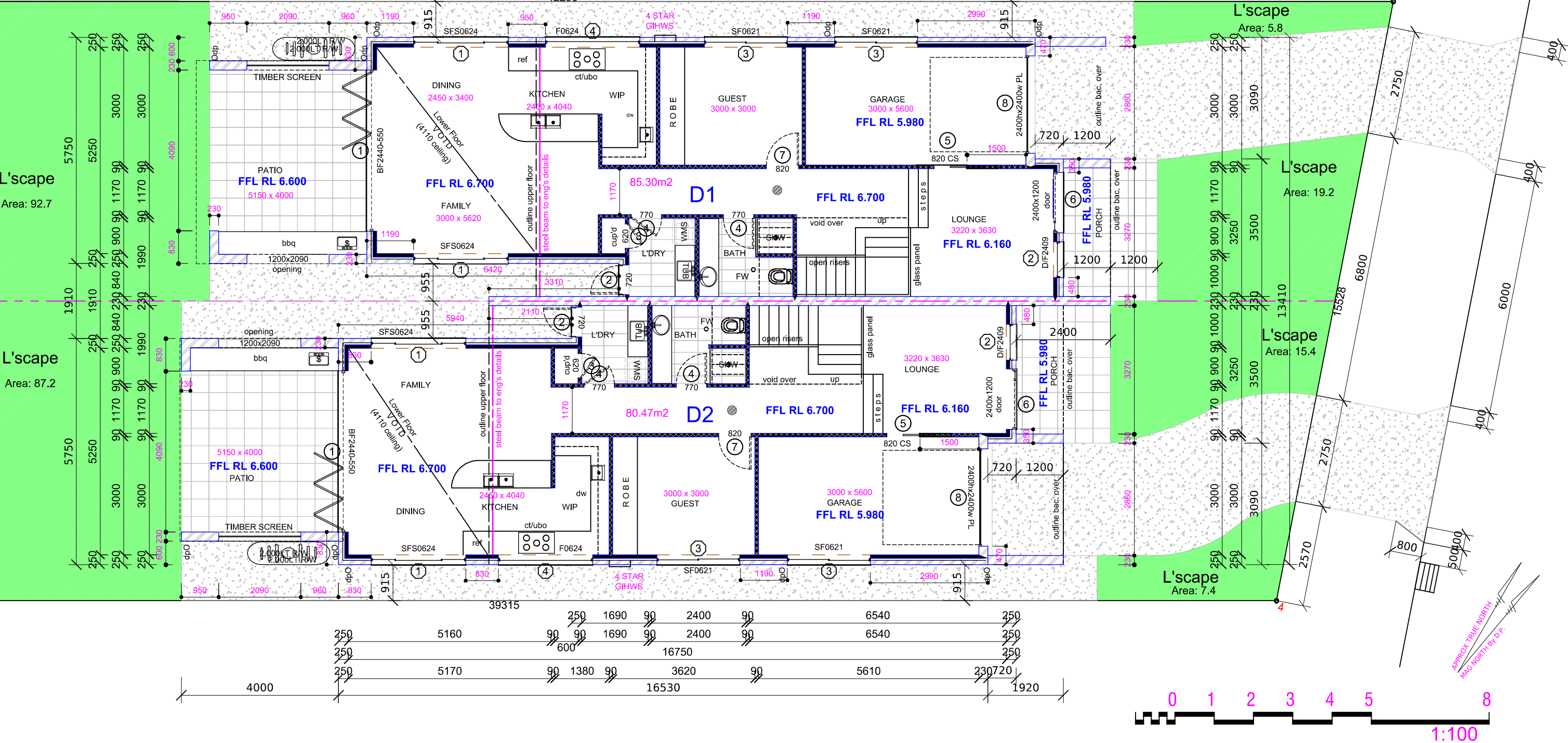
T DENOTES TOP OF WINDOW

B DENOTES BOTTOM OF WINDOW

**Not FOR CONSTRUCTION**

#### PROPOSED SITE PLAN

Proposed Ground/ Floor Level	
CSD	Cavity Sliding Door
CT	Ceramic Tiling
DP	Downpipe
DR	Drain
FW	Floor Waste
GA	Gas Point
LOH	Lift Of Hinges
RT	Selected Roof Tiles
SF	Selected Flooring
STC	Steel Troweled Concrete
TFT	Terra-Cotta Floor Tiles
PTF	Polished Timber Flooring
SA	Smoke Alarms AS3786-2014



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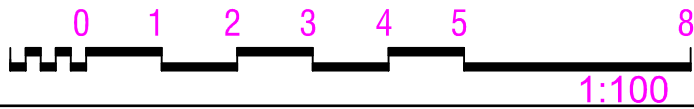
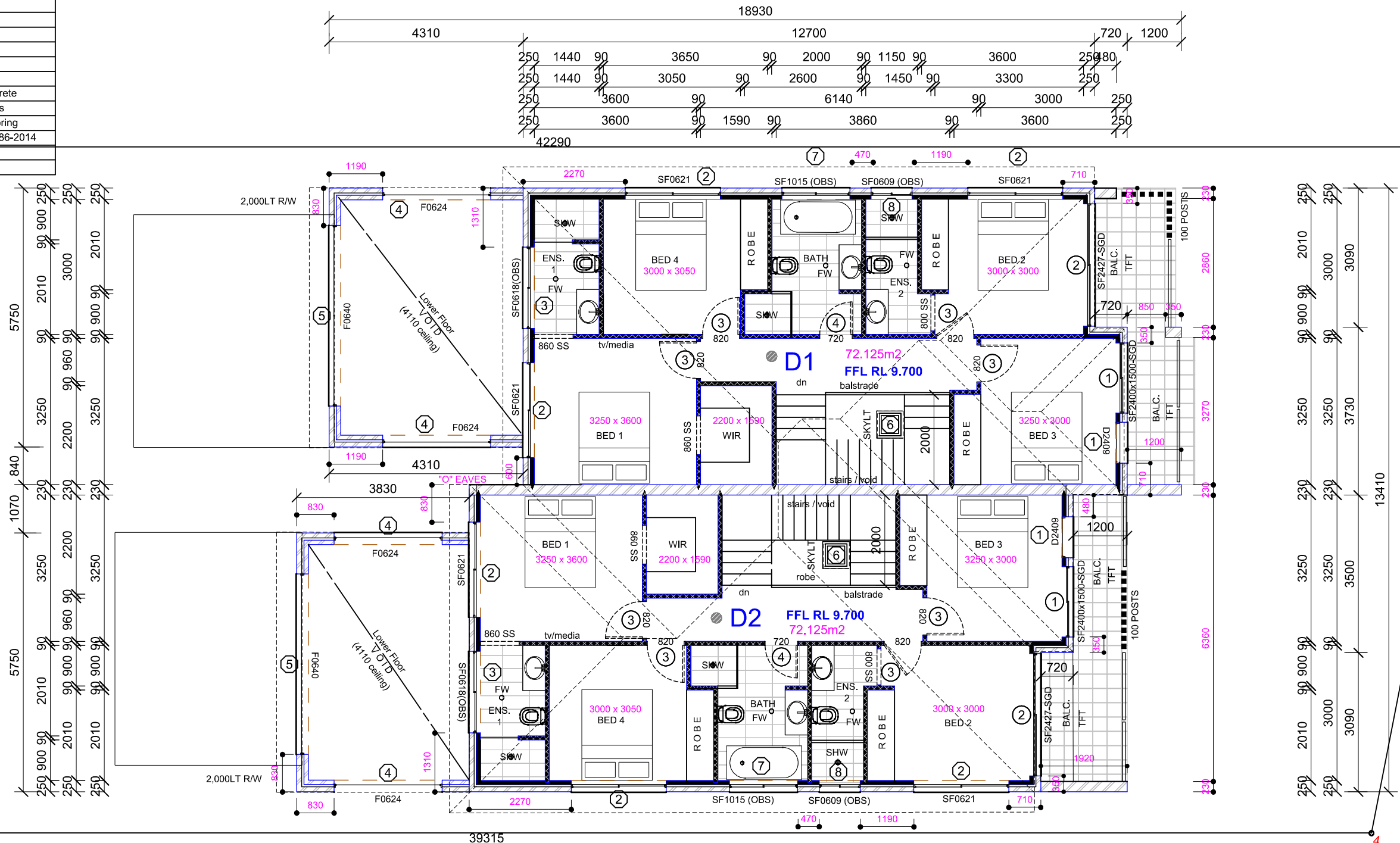
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GROUND FLOOR PLAN

Scale: 1:100	Drawn By: dbb	Drawing No. 03
Date: 05/05/22	Issue: DA-A	



Floor Plan Legend		Proposed Ground/ Floor Level
CSD		Cavity Sliding Door
CT		Ceramic Tiling
DP		Downpipe
DR		Drain
FW		Floor Waste
GA		Gas Point
LOH		Lift Of Hinges
RT		Selected Roof Tiles
SF		Selected Flooring
STC		Steel Troweled Concrete
TFT		Terra-Cotta Floor Tiles
PTF		Polished Timber Flooring
SA		Smoke Alarms AS3786-2014





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FIRST FLOOR PLAN

Scale:

1:100

Date:

05/05/22

Drawn By:

dbb

Issue:

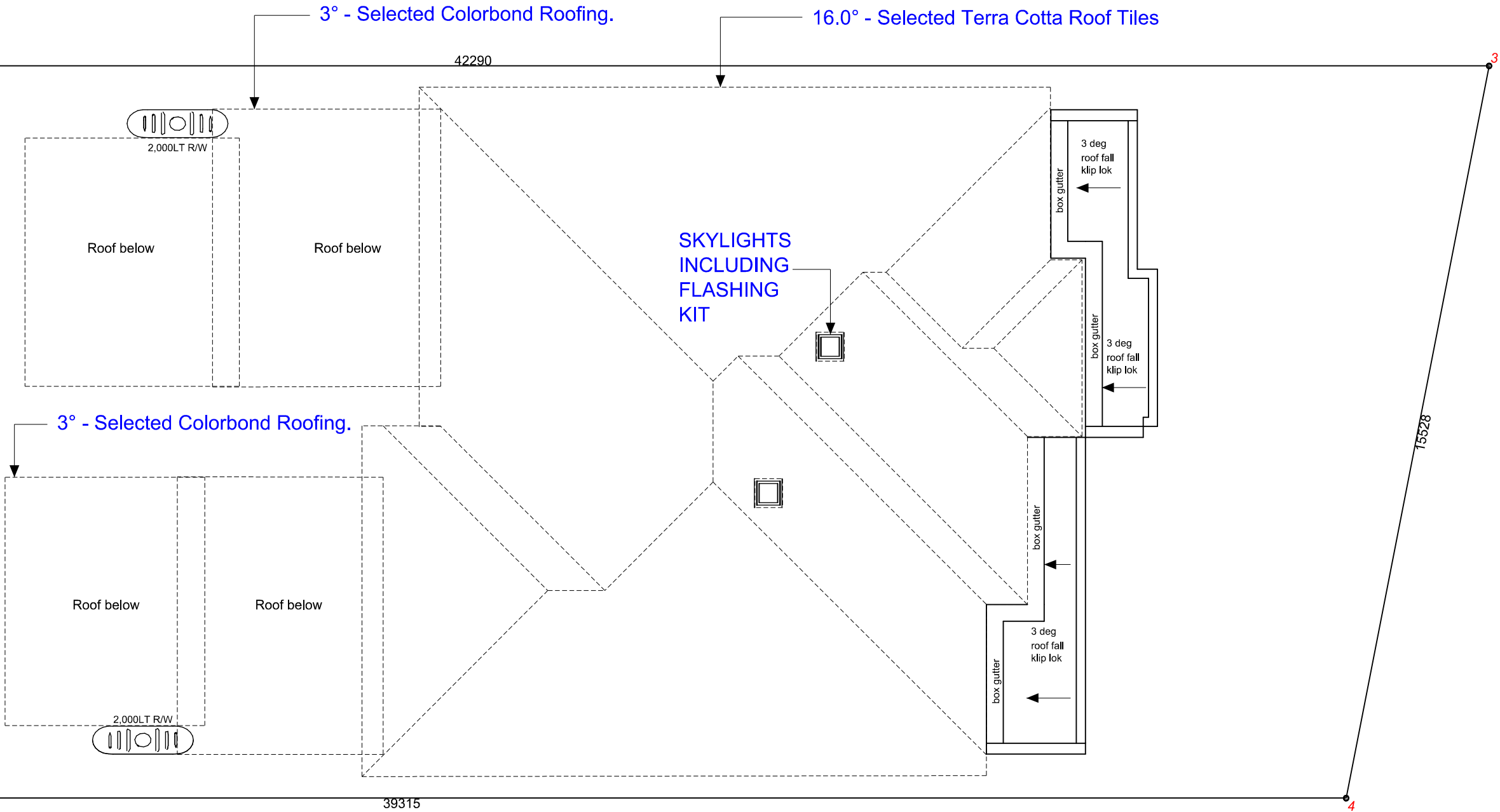
DA-A

Drawing No.

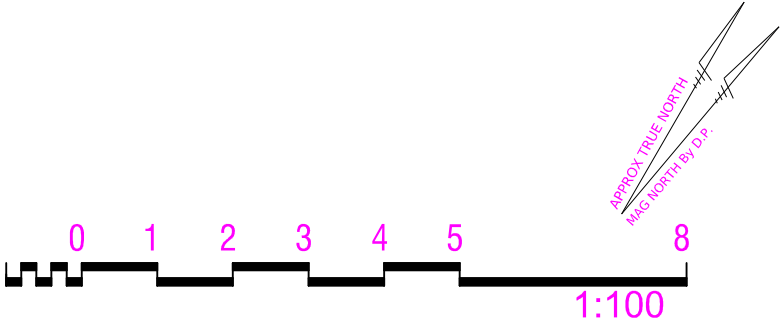
04

IV. Party Wall Fire Rating notes    Part 3.7.3.2 (a)  
V. Party wall to underside of the roof & all the way to footing    Part 3.7.2.4 (a)

Elevation Legend	CB	Colourbond Roofing
	CR	Rendered Brickwork
	DP	Downpipe
	Fbr	Face Brickwork
	Cr	Cement Render
	(Obs)	Obscure Glazing
	RT	Roof Tiles Selected
	HX	Harditex cladding/render
	FC	Fibre Cement Cladding
	Aluc.	Alucobond Panels



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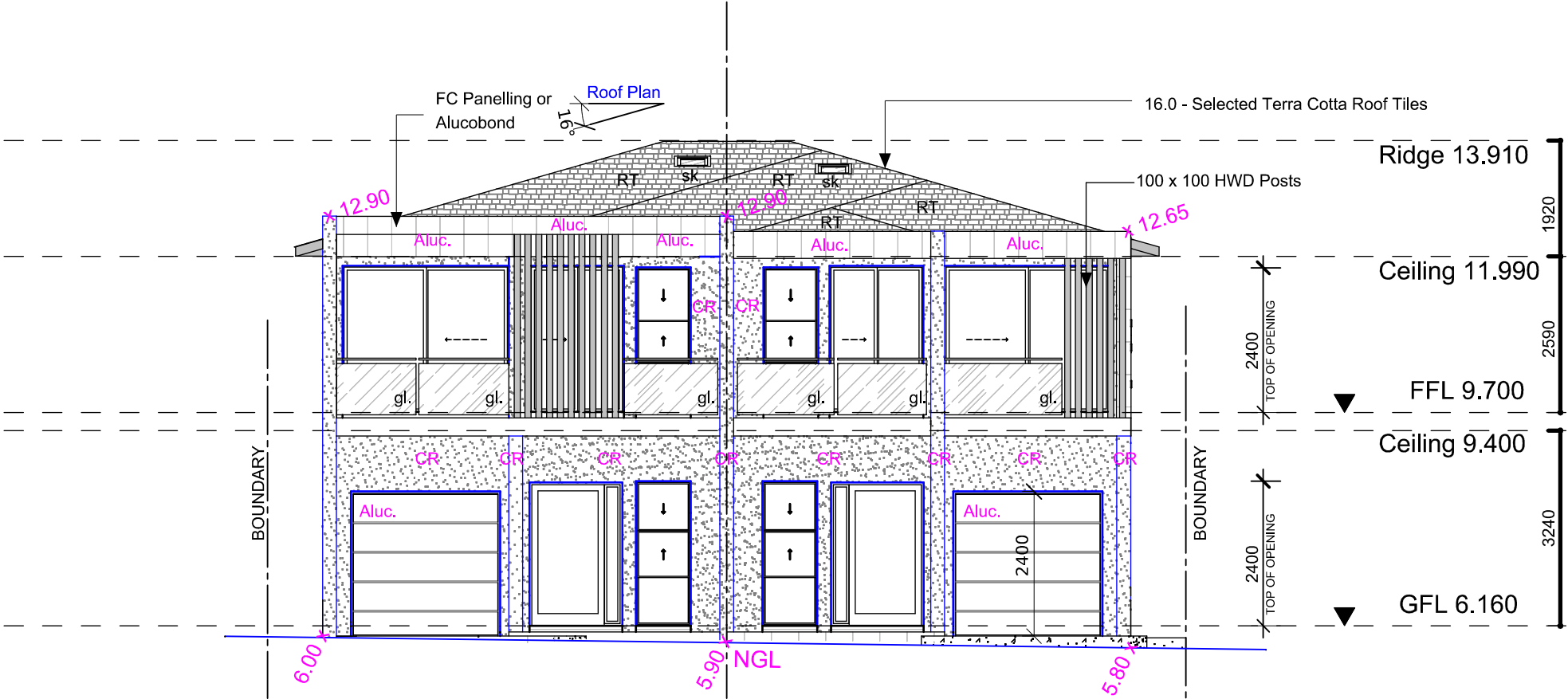
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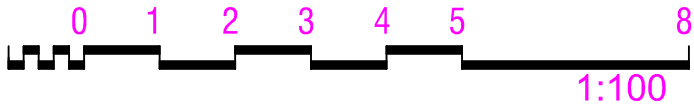
**ROOF FLOOR PLAN**

Scale: <b>1:100</b>	Drawn By: <b>dbb</b>	Drawing No. <b>05</b>
Date: <b>05/05/22</b>	Issue: <b>DA-A</b>	

Elevation Legend	CB	Colourbond Roofing
	CR	Rendered Brickwork
	DP	Downpipe
	Fbr	Face Brickwork
	Cr	Cement Render
	(Obs)	Obscure Glazing
	RT	Roof Tiles Selected
	HX	Harditex cladding/render
	FC	Fibre Cement Cladding
	Aluc.	Alucobond Panels



**NORTH EAST ELEVATION**  
**FRONT ELEVATION**  
(TO DAVIES ROAD)





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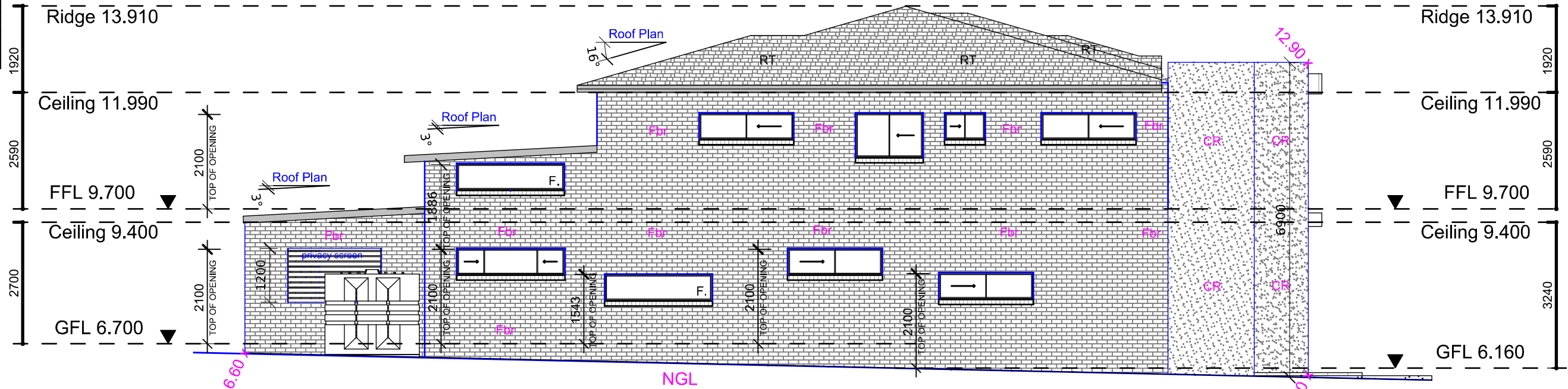
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**FRONT ELEVATION**

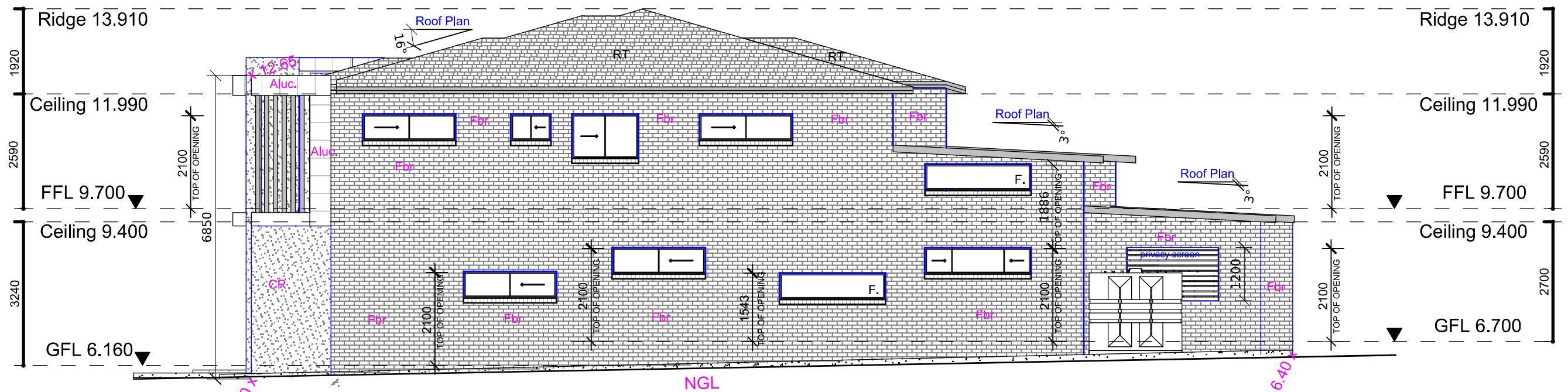
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Date: <b>05/05/22</b>	Issue: <b>DA-A</b>	

Elevation Legend	CB	Colourbond Roofing
	CR	Rendered Brickwork
	DP	Downpipe
	Fbr	Face Brickwork
	Cr	Cement Render
	(Obs)	Obscure Glazing
	RT	Roof Tiles Selected
	HX	Harditex cladding/render
	FC	Fibre Cement Cladding
	Aluc.	Alucobond Panels

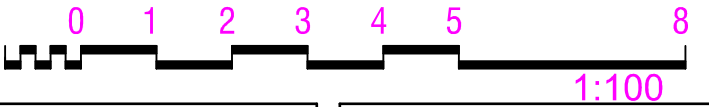
Note : The proposed windows to the upper floor elevations shall be protected in accordance with part 3.9.2.5 of the building code of Aust.



**SOUTH EAST ELEVATION**



**NORTH WEST ELEVATION**





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**ELEVATIONS**

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Drawn By:  
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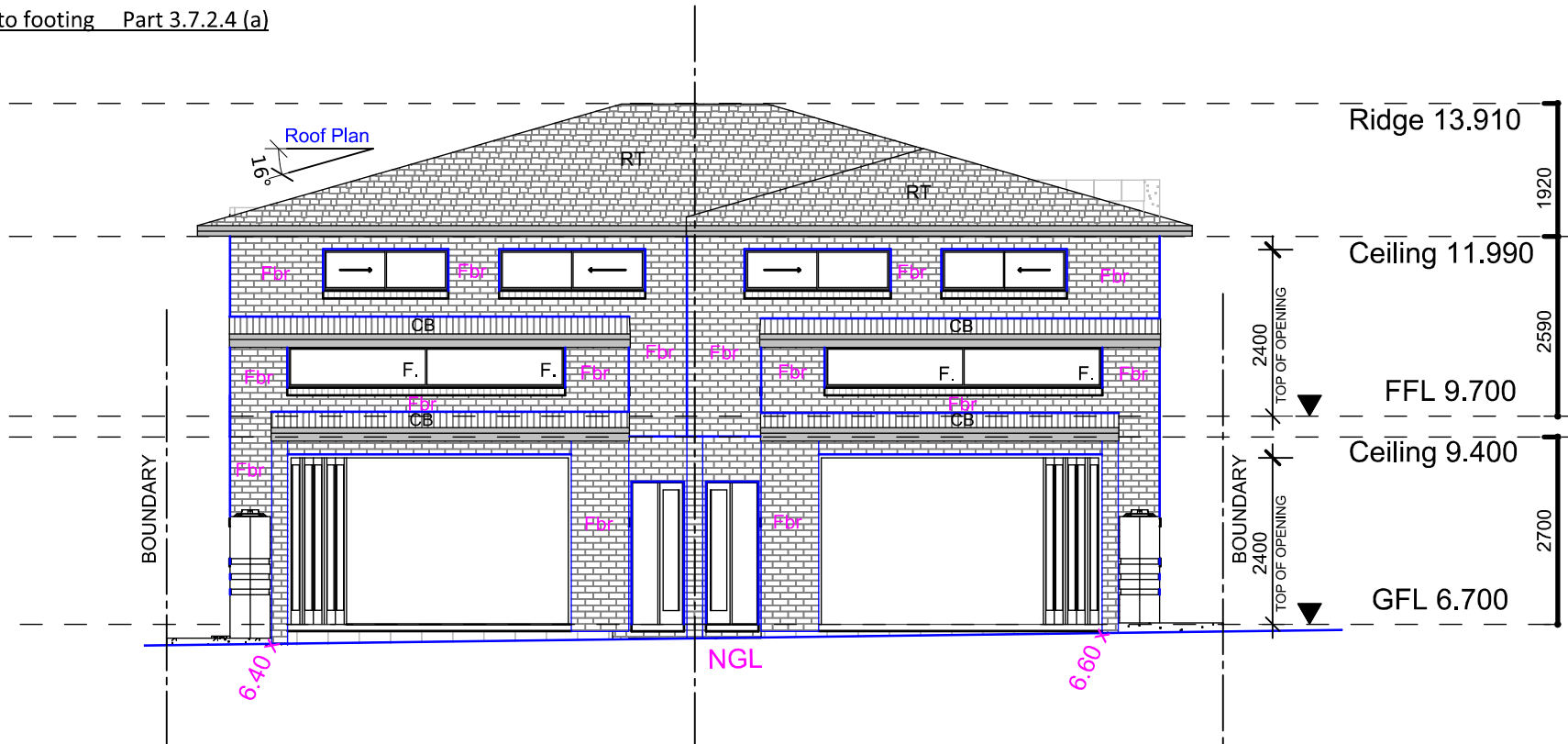
Issue:  
**DA-A**

Drawing No.  
**07**

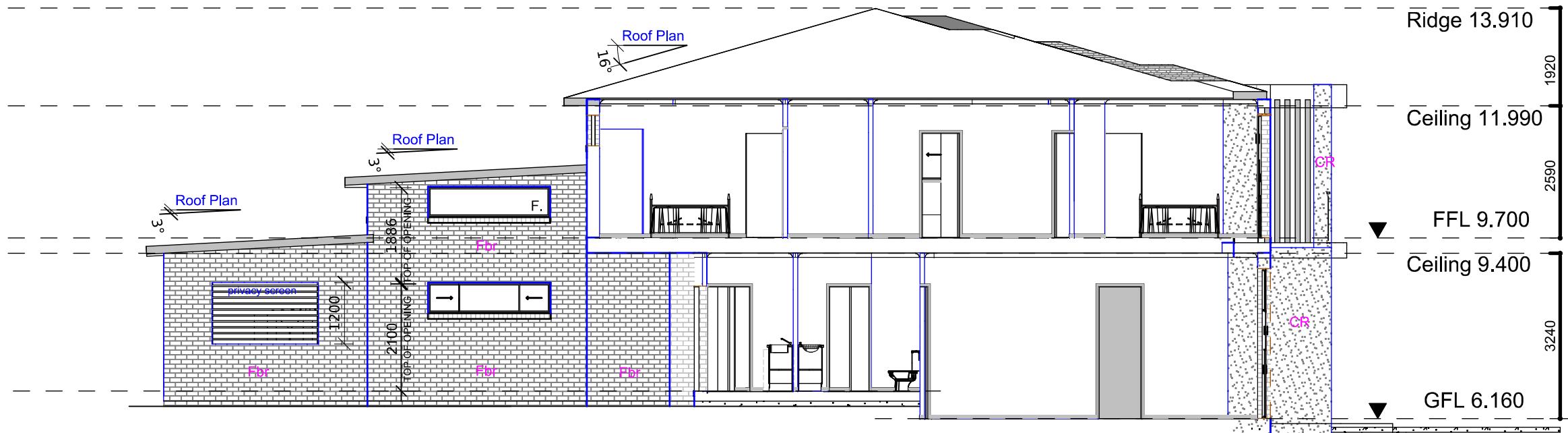


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V. Party wall to underside of the roof & all the way to footing Part 3.7.2.4 (a)

Elevation Legend	CB	Colourbond Roofing
	CR	Rendered Brickwork
	DP	Downpipe
	Fbr	Face Brickwork
	Cr	Cement Render
	(Obs)	Obscure Glazing
	RT	Roof Tiles Selected
	HX	Harditex cladding/render
	FC	Fibre Cement Cladding
	Aluc.	Alucobond Panels



SOUTH WEST ELEVATION



SECTION A - A



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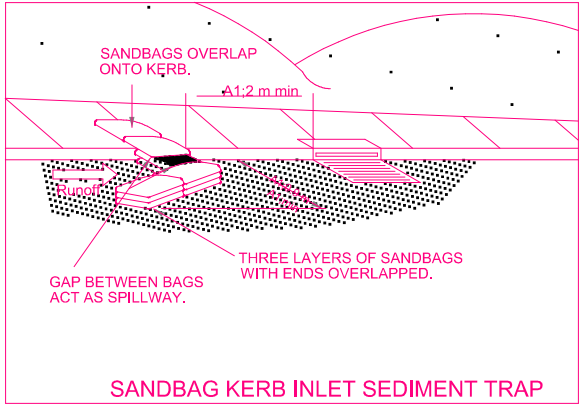
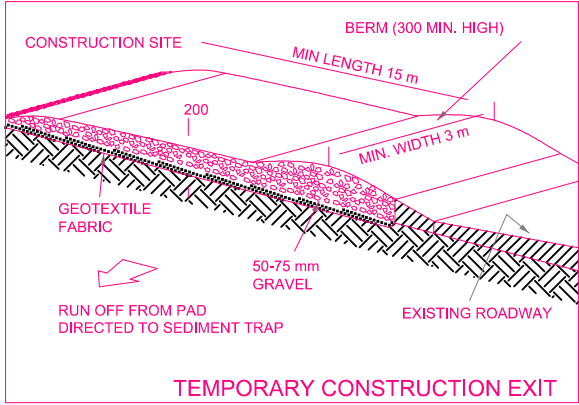
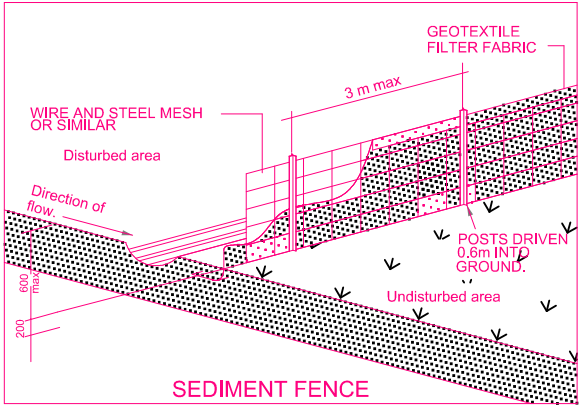
REAR ELEVATION /  
SECTION

Scale:	Drawn By:	Drawing No.
1:100	dbb	08
Date:	Issue:	
05/05/22	DA-A	

WASTE MANAGEMENT NOTES

\* Selected structural timber, bricks and terra-cotta roof construction of proposed residence.

\* Disposal of demolition materials to waste disposal centre.



WARNING

SOIL & WATER:  
\* INSTALL SEDIMENT CONTROL FENCES ALONG THE LOW SIDE OF THE SITE BEFORE WORK BEGINS.  
\* STABILISE A SINGLE ENTRY/EXIT POINT USING LARGE AGGREGATE.  
\* MINIMISE DISTURBANCE OF VEGETATION DURING EXCAVATION.  
\* PLACE SOIL STOCKPILES BEHIND SEDIMENT FENCING.  
\* KEEP THE ROAD AND FOOTPATH CLEAN BY SWEEPING REGULARLY.

WASTE:  
\* CONSTRUCT TWO (2) WASTE BAYS TO ASSIST SORTING AND RECYCLING OF WASTE.  
\* ALL WASTE MUST BE CONTAINED IN WASTE BAYS.  
\* REUSE AND RECYCLING OF WASTE SHOULD BE MAXIMISED.

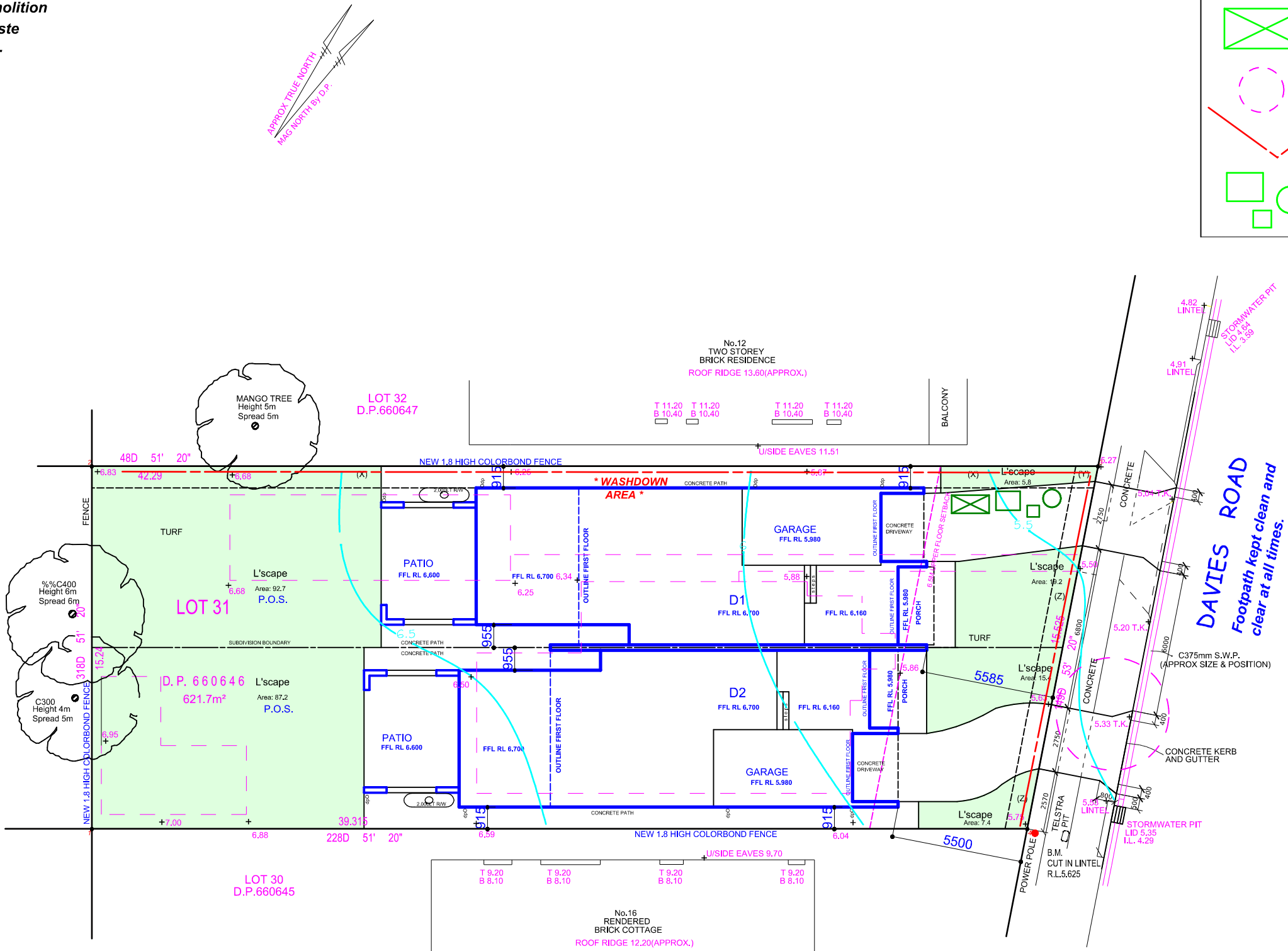
EROSION CONTROL:  
All disturbed areas shall be progressively stabilised and/or revegetated so that no areas remain exposed to potential erosion damage for a period of greater than 14 days.

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LEGEND

- WASTE BIN
- TREE REMOVAL - COMPLETE
- SEDIMENT CONTROL FENCING
- STOCKPILE OF MATERIALS PRIOR TO CONSTRUCTION

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SOIL EROSION & WASTE MANAGEMENT PLAN		
Scale: 1:200	Drawn By: dbb	Drawing No. 09
Date: 05/05/22	Issue: DA-A	







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## Single Dwelling 1

Certificate number: 1313790S

### Water Commitments

#### Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.

The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.

### Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 152.2 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

all toilets in the development

at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

### Thermal Comfort Commitments

#### General features

The dwelling must not have more than 2 storeys.

The conditioned floor area of the dwelling must not exceed 300 square metres.

The dwelling must not contain open mezzanine area exceeding 25 square metres.

The dwelling must not contain third level habitable attic room.

### Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 91.6 square metres	nil	
floor - above habitable rooms or mezzanine, 24.78 square metres, framed	nil	
floor - suspended floor above garage, framed	nil	
external wall - brick veneer	2.86 (or 3.40 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foil/sarking	unventilated; medium (solar absorptance 0.475-0.70)

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

### Thermal Comfort Commitments

#### Windows, glazed doors and skylights

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

• For the following glass and frame types, the certifier check can be performed by visual inspection.

- Aluminium single clear
- Aluminium double (air) clear
- Timber/uPVC/fibreglass single clear
- Timber/uPVC/fibreglass double (air) clear

• For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.

• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.

The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).



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## Single Dwelling 2

Certificate number: 1318373S

### Energy Commitments

#### Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.

#### Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 7 star (average zone)

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 7 star (average zone)

The cooling system must provide for day/night zoning between living areas and bedrooms.

#### Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 7 star (average zone)

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 7 star (average zone)

The heating system must provide for day/night zoning between living areas and bedrooms.

#### Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Laundry: natural ventilation only, or no laundry; Operation control: n/a

### Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

at least 5 of the bedrooms / study; dedicated

Skylight no.	Maximum area (square metres)	Type	Shading device
S01	0.36	timber, double clear/air fill	no shading

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North-East facing</b>					
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W02 Lounge	2400	910	aluminium, single, clear	solid overhang 1200 mm, 810 mm above head of window or glazed door	not overshadowed
W01 Bed 4	2400	910	aluminium, single, clear	verandah 1200 mm, 1745 mm above base of window or glazed door	not overshadowed
Door1 Bed 3	2400	1500	aluminium, single, clear	verandah 1200 mm, 2495 mm above base of window or glazed door	not overshadowed
Door2 Bed 2	2400	2700	aluminium, single, clear	verandah 1920 mm, 2495 mm above base of window or glazed door	not overshadowed

<b>South-East facing</b>					
W04 Family	600	2410	aluminium, single, clear	none	2-4 m high, 2 m away
W04 Void ovr Fam	600	2410	aluminium, single, clear	none	2-4 m high, 2 m away

<b>South-West facing</b>					
D1 Door Din/Fam.	2400	4000	aluminium, single, clear	verandah 4000 mm, 2640 mm above base of window or glazed door	not overshadowed
W03 Ensuite	600	1810	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed
W02 Bed 1	600	2110	aluminium, single, clear	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed
W05 Void Ovr Fam	600	4010	aluminium, single, clear	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed

<b>North-West facing</b>					
W01 Dining	600	2410	aluminium, single, clear	none	2-4 m high, 2 m away
W04 Kitchen	600	2410	aluminium, single, clear	none	2-4 m high, 2 m away
W03 Guest	600	2110	aluminium, single, clear	none	2-4 m high, 2 m away
W03 Garage	600	2110	aluminium, single, clear	none	2-4 m high, 2 m away
W04 Void ovr Din	600	2410	aluminium, single, clear	none	2-4 m high, 2-5 m away
W02 Bed 4	600	2110	aluminium, single, clear	eave 580 mm, 343 mm above head of window or glazed door	2-4 m high, 2-5 m away

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W07 Bath	1000	1510	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 580 mm, 343 mm above head of window or glazed door	2-4 m high, 2-5 m away
W08 Ensuite	600	910	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 580 mm, 343 mm above head of window or glazed door	2-4 m high, 2-5 m away
W02 Bed 2	600	2110	aluminium, single, clear	eave 580 mm, 343 mm above head of window or glazed door	2-4 m high, 2-5 m away

### Thermal Comfort Commitments

#### Windows, glazed doors and skylights

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

For the following glass and frame types, the certifier check can be performed by visual inspection.

- Aluminium single clear
- Aluminium double (air) clear
- Timber/uPVC/fibreglass single clear
- Timber/uPVC/fibreglass double (air) clear

For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.

Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.

The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).

### Energy Commitments

at least 2 of the living / dining rooms; dedicated

the kitchen; dedicated

all bathrooms/toilets; dedicated

the laundry; dedicated

all hallways; dedicated

### Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.

### Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

Skylight no.	Maximum area (square metres)	Type	Shading device
S01	0.36	timber, double clear/air fill	no shading

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North-East facing</b>					
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
Door2 Bed 2	2400	2700	aluminium, single, clear	verandah 1920 mm, 2495 mm above base of window or glazed door	not overshadowed
Door1 Bed 3	2400	1500	aluminium, single, clear	verandah 1200 mm, 2495 mm above base of window or glazed door	not overshadowed
W02 Lounge	2400	910	aluminium, single, clear	solid overhang 1200 mm, 810 mm above head of window or glazed door	not overshadowed
W01 Bed 3	2400	910	aluminium, single, clear	verandah 1200 mm, 1745 mm above base of window or glazed door	not overshadowed

<b>South-East facing</b>					
W02 Bed 2	600	2110	aluminium, single, clear	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed
W08 Ensuite	600	910	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed
W04 Kitchen	600	2410	aluminium, single, clear	none	2-4 m high, 2-5 m away
W07 Bath	1000	1510	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed
W01 Dining	600	2410	aluminium, single, clear	none	2-4 m high, 2-5 m away
W03 Guest	600	2110	aluminium, single, clear	none	2-4 m high, 2-5 m away
W02 Bed 4	600	2110	aluminium, single, clear	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed
W03 Garage	600	2110	aluminium, single, clear	none	2-4 m high, 2-5 m away
W04 Void ovr Din	600	2410	aluminium, single, clear	none	2-4 m high, 2 m away

<b>South-West facing</b>					
D1 Door Din/Fam.	2400	4000	aluminium, single, clear	verandah 4000 mm, 2640 mm above base of window or glazed door	not overshadowed
W02 Bed 1	600	2110	aluminium, single, clear	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed
W05 Void Ovr Fam	600	4010	aluminium, single, clear	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W03 Ensuite	600	1810	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 580 mm, 343 mm above head of window or glazed door	not overshadowed

<b>North-West facing</b>					
W04 Void ovr Fam	600	2410	aluminium, single, clear	none	2-4 m high, 2-5 m away
W01 Family	600	2410	aluminium, single, clear	none	2-4 m high, 2 m away

Note:  
-Do not scale off drawings  
-All works to be setout by a registered survey  
-Builder or contractor to verify all dimensions & levels as well notify the designer of any discrepancies prior to commencing any work  
-Refer to Engineers drawings for structural details  
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## ENERGY EFFICIENCY NOTES & GENERAL NOTES

Scale: <b>NTS</b>	Drawn By: <b>dbb</b>	Drawing No.
Date: <b>05/05/22</b>	Issue: <b>DA-A</b>	<b>en.eff1</b>



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Project Title :

**Dual Occupancy & Torrens Title**

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28/06/22


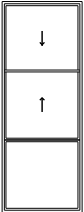
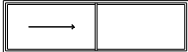

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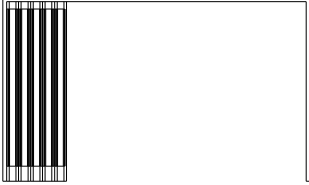

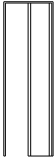

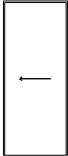


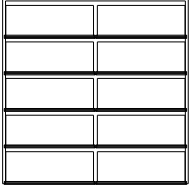
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Window Schedule						
Window Schedule	Height	Width	Mark	Description	Glass Area	Count
	600	2410	1	600 X 2410 mm Sliding Windows	1.2	4
	2400	910	2	2400 X 910 mm Hung/Fixed Windows	1.8	2
	600	2110	3	600 X 2110 mm Sliding Windows	1.0	4
	600	2400	4	600 X 2410 mm Fixed Windows	1.2	2

Door Schedule					
Door Schedule	Mark	Height	Width	Description	Count
	1	2400	4000	2400 mm X 4000 mm Bi-Fold Doors.	2
	2	2040	720	90 x 2040 x 720mm Passage Set - Prehung - Internal Door	2
	3	2040	620	90 x 2040 x 620mm Passage Set - Prehung - Internal Door	2
	4	2040	770	90 x 2040 x 770mm Passage Set - Prehung - Internal Door	4
	5	2040	820	90 x 2040 x 820mm Cavity Slider	2
	6	2340	1200	90 x 2400 x 1200mm - Hinged - Entrance Door + 300 S'tight	2
	7	2040	820	90 x 2040 x 820mm Passage Set - Prehung - Internal Door	2
	8	2440	2400	2440 x 2400 Panel Lift Door (2740)	2



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GROUND FLOOR PLAN  
WINDOWS & DOORS





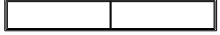



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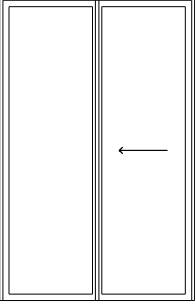
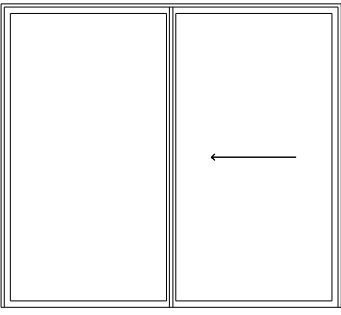
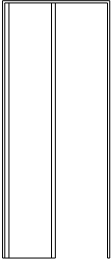
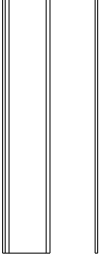
Drawn By:  
dbb


Date:  
05/05/22

Issue:  
DA-A

Drawing No.  
WS1

Window Schedule						
Window Schedule	Height	Width	Mark	Description	Glass Area	Count
	2400	910	1	2400 X 910 mm Hung Windows	1.8	2
	600	2110	2	600 X 2110 mm Sliding Windows	1.0	6
	600	1810	3	600 X 1810 mm Sliding Windows (OBS)	0.9	2
	600	2400	4	600 X 2400 mm Fixed Windows	1.2	4
	600	4010	5	600 X 4010 mm Fixed Windows	2.0	2
	600	600	6	600 mm X 600 mm Fixed Skylights	0.2	2
	1000	1510	7	1000 X 1510 mm Sliding Windows (OBS)	1.3	2
	600	910	8	600 X 910 mm Sliding Windows (OBS)	0.4	2


Door Schedule					
Door Schedule	Mark	Height	Width	Description	Count
	1	2400	1510	2400 mm X 1510 mm Sliding Glass Door.	2
	2	2400	2670	2400 mm X 2670 mm Sliding Glass Door.	2
	3	2040	820	90 x 2040 x 820mm Passage Set - Prehung - Internal Door	8
	4	2040	720	90 x 2040 x 720mm Passage Set - Prehung - Internal Door	2



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FIRST FLOOR PLAN  
WINDOW & DOORS

Scale:  
1:100

Drawn By:  
dbb

Date:  
05/05/22

Issue:  
DA-A

Drawing No.  
WS2

# Colour board

## design-basix-build

Project: 14 Davies Road PADSTOW

Project No: DA-A

Applicant: dbb (design-basix-build)

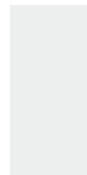
Ref: Colours-

Refer to 3d Visuals

Garage door White / Black  
Monument Frame & Acrylic Panels



Dulux  
Qtr Lexicon White



Dulux  
Monument



Common Walls  
Timeless Grey



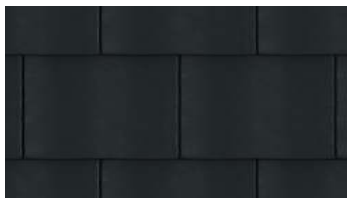
Upper Floor Balcony Soffit and  
Surround / Ref 3d Visual  
ALUCOBOND® anodized look Satin brown



Exterior Face Brick / Austral  
Metallix - Blackstone



Roof Tiles Sambucca  
or featured Tiles Similar



Roof metal – Shale Grey or Similar  
Klip Lock / Refer to Roof Plan



Aluminium Windows  
Monument or Similar



Fascia (Monument)  
Gutter (Monument)

